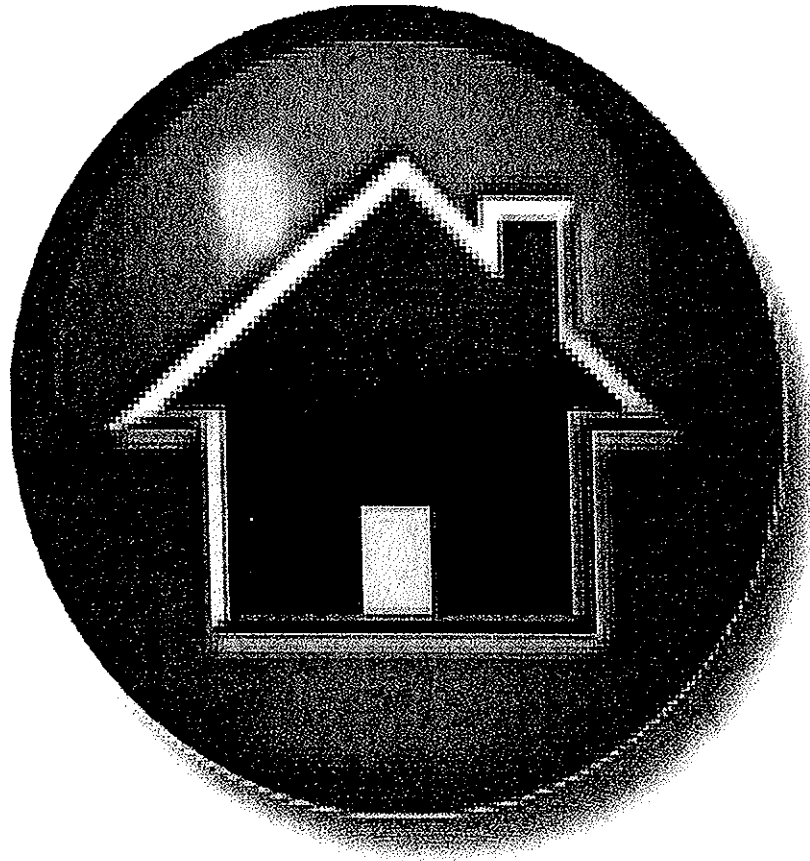


Village ^{the} of New Lenox
"Home Of Proud Americans"

Building Department
Phone 815-462-6490
Fax 815-462-6469



**BUILDING GUIDE FOR
REMODELING PROJECTS**

REVISED
5/23/07

BUILDING GUIDE

Dear Resident/Contractor

On behalf of the Village New Lenox, we would like to introduce you to the building application process. Enclosed in this booklet you will find the information necessary to complete the building permit application and complete the permit process.

This booklet includes permit application detail, inspection requirements and general building information.

If you have any questions, please feel free to contact the Building Department office at 815-462-6490 or go on line and visit the Village of New Lenox website at www.newlenox.net for more information.

Village of New Lenox



Warren Rendleman

Building & Zoning Administrator

REMODELING PERMIT

Remodeling permits required for the following projects:

**Underground sprinkler system
Screened Porch / All Season Room
Roofing (Roofing permit application required)
Inground swimming pool
Room Addition
Remodeling
Detached garage
Attached garage**

STANDARDS CITED

INTERNATIONAL BUILDING CODE – 2006

INTERNATIONAL MECHANICAL CODE – 2006

INTERNATIONAL RESIDENTIAL CODE -2006

NATIONAL ELECTRICAL CODE – 2005

INTERNATIONAL ELECTRICAL CODE
ADMINISTRATIVE PROVISIONS - 2006

IDOT SPECIFICATIONS

VILLAGE OF NEW LENOX MUNICIPAL CODE

ILLINOIS STATE PLUMBING CODE – 2004

ILLINOIS ACCESSIBILITY CODE – 1997

INTERNATIONAL FIRE CODE - 2006

INTERNATIONAL PROPERTY MAINTENANCE CODE – 2006

INTERNATIONAL FUEL GAS CODE – 2006

INTERNATIONAL ENERGY CONSERVATION CODE – 2006

**NOTE:
LOCAL AMENDMENTS,
TO THE ABOVE CODES,
ARE AVAILABLE AT THE
VILLAGE OF NEW LENOX OFFICE.**

REMODELING INSPECTION REQUIREMENTS

ROOM ADDITION

- Footing Inspection* - Prior to pour (24 hour notice)
- Foundation Inspection* - Prior to insulation (see Cold Weather Regulations)
- Foundation Insulation - Prior to backfill
- Rough Inspections
 - Building & Plumbing - Framing, electrical & plumbing (when applicable)
- Insulation Inspection - Prior to drywall
- Final Inspections
 - Building & Plumbing - Construction complete and ready for occupancy

GARAGE

- Footing - Prior to pour
- Garage Floor - Prior to pour
- Rough Building - Framing, Electric
- Final Building - Construction completed and ready for occupancy

SCREENED PORCH / ALL SEASON ROOM

- Post Hole Inspection
- Final Building Inspection

INGROUND POOL

- Underground Plumbing
- Rough Building Inspection - Electrical, Bonding
- Final Building Inspection - Electrical, Fencing

LAWN IRRIGATION SYSTEMS

RPZ Inspection

Deduct Meter Inspection (if provided)

Note: All rpz valves require an annual inspection and certification by a licensed cross connection control device inspector. Submit documentation to the Village Office.

***NOTE: REFER TO COLD WEATHER REGULATIONS FROM DECEMBER 1ST THROUGH APRIL 30TH.**

REMODELING PERMIT CHECKLIST

INDICATE TYPE OF CONSTRUCTION:

- Room Additions
- Detached garage
- Attached garage
- Screened Porches/ All Season Rooms
- Residential Remodel
- Re-roof
- Underground Sprinkler System
- In-ground Swimming Pools

INSTRUCTIONS:

Room Additions – Garage- Remodel – Screened Porches/All Season Rooms

Please submit the following:

1. Complete Remodeling Permit application form
2. Site plan of property depicting existing structures, along with proposed structure.
3. Include all contractors working on project and their current registration number.
4. For attached garage submit footing and foundation detail.
5. Submit plans (two copies of specifications and of plans drawn to scale, with sufficient clarity and detail dimensions to show the nature and character of the work to be performed.)

Roofing Permit

Please submit the following:

1. The completed Roofing permit application.
2. Include roofing contractors current registration number

UNDERGROUND SPRINKLER SYSTEM

Please submit the following:

1. Completed remodeling permit application.
2. Detail drawing depicting location of all sprinkler heads and RPZ valve type and location.
3. **A copy of the certification for the backflow preventer is to be submitted to the Building Department upon completion of the system.**

In-ground Swimming Pools

Please submit the following:

1. Remodeling Permit application form.
2. Site plan of property depicting the location of the pool from any principal buildings and lot lines.
3. Indicate existing fencing or submit a fence permit application to meet required fencing regulations.
4. Complete installation details, including electrical and plumbing.
5. A \$100.00 cash deposit required for all swimming pool permits. See swimming pool section for details.

INSPECTIONS:

SEE ATTACHED INSPECTION SHEET; All work and inspections should be completed within 160 days of permit issuance.

CONSTRUCTION HOURS

In residential districts construction hours are as follows:

Monday – Friday	7:00a.m. – 9:00p.m.
Saturday – Sunday	8:00a.m. – 9:00p.m.

NOTE:

A building permit issuance is required prior to the start of any construction. Please allow 10-14 working days for review and approval of requested permit.

Failure to secure a building permit prior to the start of any project could result in the doubling of fees and a possible court appearance.

ROOM ADDITIONS

Room additions must have a footing with an edge thickness not less than 8 inches. The minimum width shall not be less than 16 inches. The bottom of the footing must be below the frost line of 42 inches. All building permits must include specifications from the window manufacturer indicating compliance with ANSI/AAA/NWWDA 101 I.S.2 and must also be designed with a minimum designed pressure of 30 lb/sq. ft. In addition, all windows must bear a label from an approved independent lab indicating compliance with the ANSI Standard. A copy of the standard is available at the Village Hall for your review.

SMOKE DETECTORS: (I.R.C.) INTERNATIONAL RESIDENTIAL CODE SEC. .313

Sec. 313.2.1 Alterations, repairs and additions. When alterations, repairs or additions requiring a permit occur, or when one or more sleeping rooms are added or created in existing dwellings, the entire building shall be provided with smoke detectors located as required for new dwellings; the smoke detectors are not required to be interconnected unless other remodeling considerations require removal of the appropriate wall and ceiling coverings to facilitate concealed interconnected wiring.

CARBON MONOXIDE DETECTORS:

Carbon monoxide detectors shall be installed within 10' of every bedroom and shall receive their power from the building wiring. For remodeling and additions, carbon monoxide detectors are permitted to be battery operated.

REQUIRED GROUND FAULT CIRCUIT INTERRUPTERS:

Ground fault circuit interrupters (GFI's) are required in every bathroom; all garage, basement, kitchen countertops and exterior receptacles; all exterior receptacles must have in-use covers. At least one receptacle is required in the basement.

ARC FAULT CIRCUIT INTERRUPTERS:

Arc fault circuit interrupters (AFCI) are required on all 15 & 20 amp branch circuits in dwelling unit bedrooms.

FIRE SEPARATION WALL:

1 ½ hour fire rated door required between garage and residence.
1 hour fire rated wall between garage and house.

GUARDRAILS AND HANDRAILS:

Refer to I.R.C. Section R-312 and R-311.5.6

STAIRWAYS – TREADS and RISERS – R311

The maximum riser height shall be 7 ¾ inches and the minimum tread depth shall be 10 inches. (refer to IRC 311.5.3 for further details).

STAIRWAY HEADROOM: R-311.5.2

The minimum headroom in all parts of the stairway shall not be less than 6'-8". Headroom required at stairways measured vertically from the sloped plane adjoining the tread nosing or from the floor surface of the landing or platform.

FIRE-STOPS:

Fire-stops are required at the following locations:

1. All interconnections between vertical and horizontal spaces such as at a soffit, dropped ceilings and other similar locations.
2. Concealed spaces of stud walls and partitions including furred spaces of concrete walls.
3. Ceiling and floor openings around vents, pipes, ducts and fireplaces at ceiling and floor levels.

BEDROOM WINDOWS:

Bedroom windows require a clear opening of 20" x 24" and operable area of 5.7 square feet. Sill height not to exceed 44 inches from finished floor.

BORED HOLES AND NOTCHES:

1. Bored holes in stud walls shall not be bored more than 40% of the width of the stud. (IRC – R602.6)
2. Holes bored into joists for piping or electrical cables shall not be closer than 2 inches to the top or bottom of the joist and the diameter of the hole shall not exceed 1/3 depth of the joist.
3. Notches in the top of joists or rafters shall not exceed 1/6 the depth of the members and shall not be located in the middle third of the span, and the tension side of beams, joists and rafters shall not be notched. (IRC – R 802.7)

ORDINANCE NO. 1580

AN ORDINANCE AMENDING TITLE 18 OF MUNICIPAL CODE
OF THE VILLAGE OF NEW LENOX, WILL COUNTY, ILLINOIS
(Building Code)

WHEREAS, it has been deemed to be in the best interests of the citizens of the Village of New Lenox that Title 18 of the Municipal Code be amended.

NOW, THEREFORE, be it hereby ordained by the Mayor and Board of Trustees of the Village of New Lenox, Will County, Illinois, as follows:

Section 1: That Section 1805.4.7 be amended to read:

Floating mat. Add “Detached accessory structures more than one hundred eighty (180) square feet and less than six hundred (600) square feet shall be permitted on a Floating Mat foundation with a minimum edge thickness of five inches (5”) with 6 x 6 W.W.F. installed at the midpoint of slab thickness. All concrete shall be a minimum of six (6) bag mixture with an air entrainment of four percent (4%) to seven percent (7%) and achieve a minimum compressive strength of three thousand five hundred (3,500) psi after twenty-eight (28) days.” Add Fibrous concrete reinforcement shall be permitted in lieu of welded wire fabric reinforcement when installed in accordance with manufacturer’s specifications and field verification.

Section 2: That Section 1406.IBC Section 1911.1 be amended to read:

Delete the fire line and add the following: “The thickness of concrete floor slabs in crawl spaces supported directly on the ground shall not be less than two inches (2”). The thickness of concrete floor slabs of concrete basement floors shall be not less than four inches (4”). The minimum thickness of all concrete exposed to freezing and thawing conditions, including garage floors, shall be a minimum of five inches (5”) with 6 x 6 W.W.F. installed at the mid-point of slab thickness. All exposed concrete shall be minimum six (6) bag mixture with an air entrainment of four percent (4%) to seven percent (7%) and achieve a minimum compressive strength of three thousand five hundred (3,500) psi after twenty-eight (28) days.” Add Fibrous concrete reinforcement shall be permitted in lieu of welded wire fabric reinforcement when installed in accordance with manufacturer’s specifications and field verification.

Section 3: That IRC Section R403.1.9 be amended to read:

Add the following section: “Floating Mat: Detached accessory structures more than one hundred eighty (180) square feet and less than six hundred (600) square feet shall be permitted on a Floating Mat foundation with a minimum edge thickness of twelve inches by twelve inches (12” X 12”) and a minimum slab thickness of five inches (5”) with a 6 x 6 W.W.F. installed at the mid-point of slab thickness. All concrete shall be a

minimum of six (6) bag mixture with an air entrainment of four percent (4%) to seven percent (7%) and achieve a minimum compressive strength of three thousand five hundred (3,500) psi after twenty-eight (28) days. The six hundred (600) square feet is measured using the dimensions of the slab on grade.” Add Fibrous concrete reinforcement shall be permitted in lieu of welded wire fabric reinforcement when installed in accordance with manufacturer’s specifications and field verification.

Section 4: That IRC Section R506.1 be amended to read:

Delete this section and change as follows: “General: The thickness of concrete floor slabs in crawl spaces supported directly on the ground shall not be less than two inches (2”). The thickness of concrete floor slabs of basement floors shall not be less than four inches (4”). The minimum thickness of all concrete exposed to freezing and thawing conditions, including garage floors, shall be a minimum of five inches (5”) with 6x6 W.W.F. installed at the mid-point of slab thickness. All exposed concrete shall be a minimum of six (6) bag mixture with an air entrainment of four percent (4%) to seven percent (7%) and achieve a minimum compressive strength of three thousand five hundred (3,500) psi after twenty-eight (28) days.” Add Fibrous concrete reinforcement shall be permitted in lieu of welded wire fabric reinforcement when installed in accordance with manufacturer’s specifications and field verification.

Section 5: Severability: That each section and part hereof of this ordinance is deemed to be severable and should any section or part hereof be held invalid or unconstitutional by any court of competent jurisdiction, such ruling shall not affect the validity of constitutionality of the remaining portion(s) of this ordinance.

Section 6: Repeal of Inconsistent Ordinances: That all ordinances or parts thereof in conflict with the terms of this ordinance are hereby repealed and of no further force and effect to the extent of any such conflict.

Section 7: Publication: That the Village Clerk is hereby directed to publish this ordinance in pamphlet form.

Section 8: Effective Date: That this ordinance shall be in full force and effect on March 1, 2003.

Ordinance No. 1580

PASSED THIS 28th day of September, 2004
with six members voting AYE, with -0- members voting NAY, and with one members
ABSENT, the Mayor voting aye; and said vote being WALTER aye, BALDERMANN
aye, BOWDEN aye, SMITH absent, DYE aye, and WEIGEL aye.

Marcia Confort
VILLAGE CLERK

APPROVED this 30th day of September, 2004.

Don Driscoll
MAYOR

ATTEST:

Marcia Confort
VILLAGE CLERK

GARAGE/ACCESSORY BUILDINGS

Miscellaneous storage buildings greater than 180 square feet used for storage shall conform to the requirements for a detached accessory structure.

SETBACKS:

Side yard setback	5 ft.
Rear yard setback	5 ft.
Front yard setback	30 ft.

Distance from house or any principal buildings plus 1-ft. for each additional foot over 20-ft. in length. Minimum 10ft.

Building height not to exceed 15-ft.

FROST PROTECTION: Except when erected upon solid rock or otherwise protected from frost, foundation wall piers and other permanent supports and structures larger than 600 sq. ft. in area shall extend to the frost line of 42-inches and spread footings of adequate size shall be provided where necessary to distribute properly the load within the allowable bearing value of the soil.

PLAIN CONCRETE:

1. In plain concrete footings, the edge thickness shall not be less than 8-inches for footings on soil.
2. The minimum width shall not be less than 16-inches.
3. The minimum thickness of concrete garage floors shall be a minimum 5-inches with 6x6 w.w.f. installed at the mid-point of slab thickness.
4. All exposed concrete shall be a minimum 6 bag mixture with an air entrainment of 4% - 7% and achieve a minimum compressive strength of 3,500 PSI after twenty eight (28) days.
5. All excavated areas within attached or detached garages shall be filled with aggregate stone backfill. The backfill shall be placed on solid soil, free of all vegetation.

FLOATING MAT:

Detached accessory structures less than 600 sq.ft. shall be permitted on a floating mat foundation with a minimum edge thickness of 12in.x12in. and a minimum slab thickness of 5inches with 6x6 W.W.F. installed at the mid-point of slab thickness. All concrete shall be a minimum of 6 bag mixture with an air entrainment of 4% - 7% and achieve a minimum compressive strength of 3,500 PSI after twenty eight (28) days.

Exception (R403.3)

Additions to detached accessory structure may be permitted on a floating mat foundation provided the total combined area of the accessory structure does not exceed 900 square feet. The 900 square feet is measured using the dimensions of the slab on grade. The connections between the concrete slabs shall be reinforced with #5 rebar installed 24-inches on center with a minimum 12-inch horizontal penetration into each concrete slab.

TIMBER FOOTINGS: Prohibited

POLE BUILDING: Prohibited

**NOTE: All building set-backs shall not encroach upon any easement or Public Right-of-Way.
All construction requires approved building permit and is subject to regular building inspections.**

SCREENED PORCHES/ALL SEASON ROOMS

Screened porches may be constructed on foundation or posts.

For foundation construction see “Room Addition” requirements.

For Post Construction treated wood post installed at a minimum of 42-inches below grade is required.

Submit the following information :

Post size, location, spacing and depth.

Header and joist sizes and spacing.

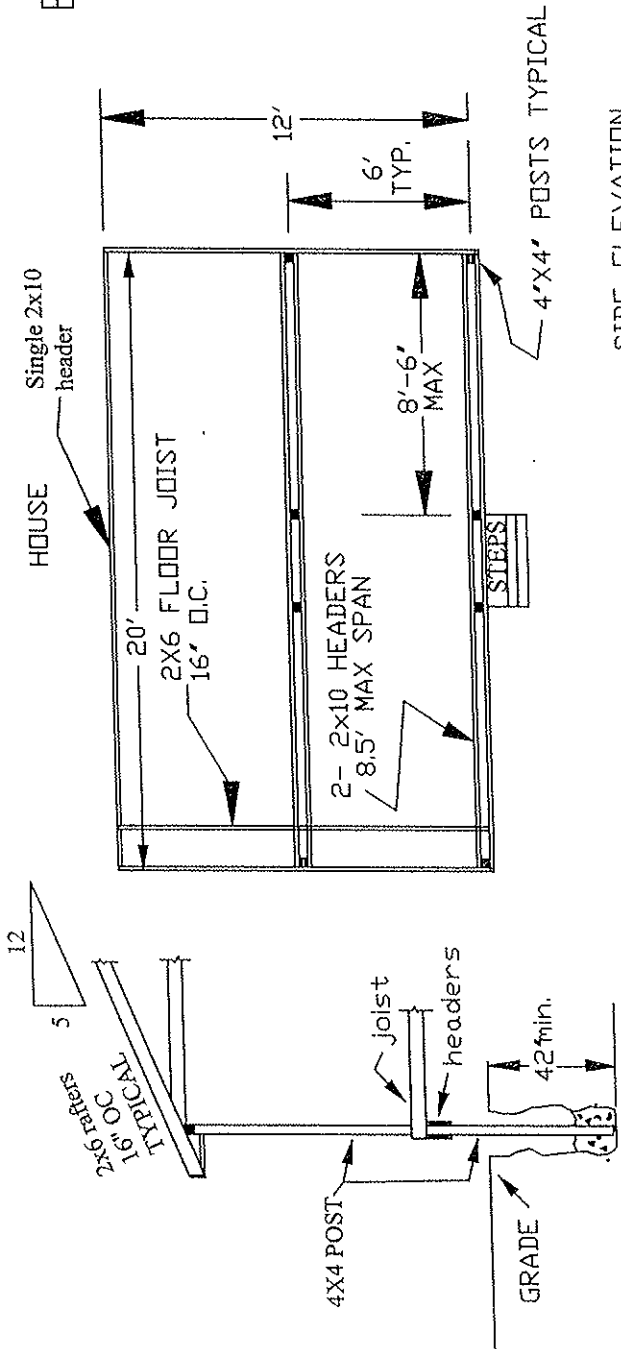
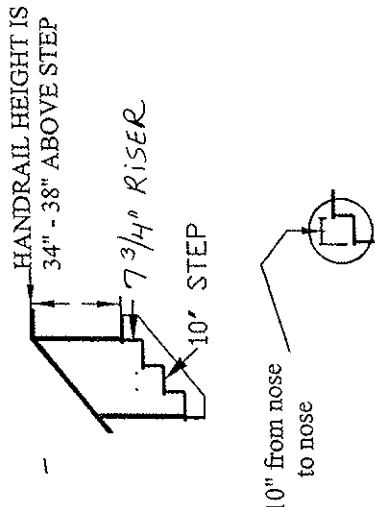
Decking size

Location on site to be indicated on plat. (see sample)

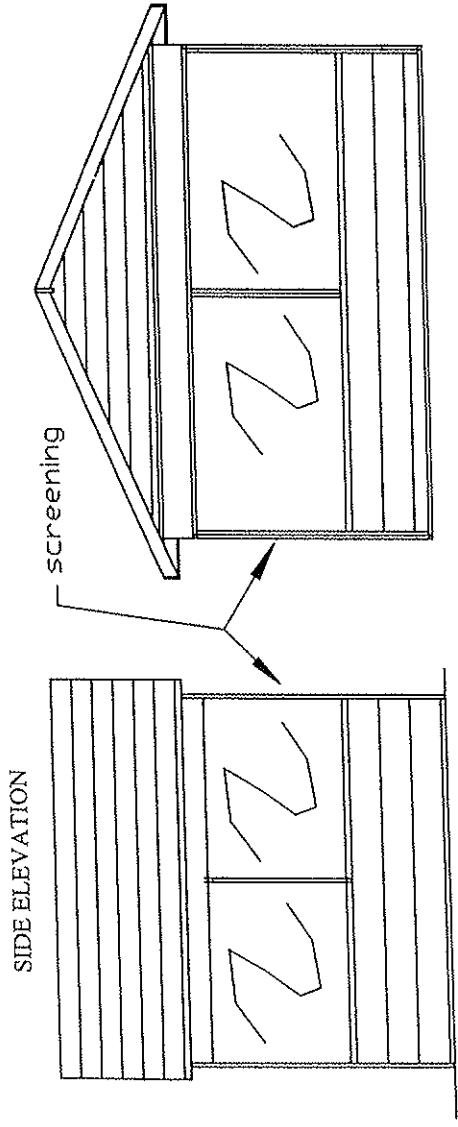
Detailed drawing required. (see sample)

EXTERIOR STEPS

ONLY

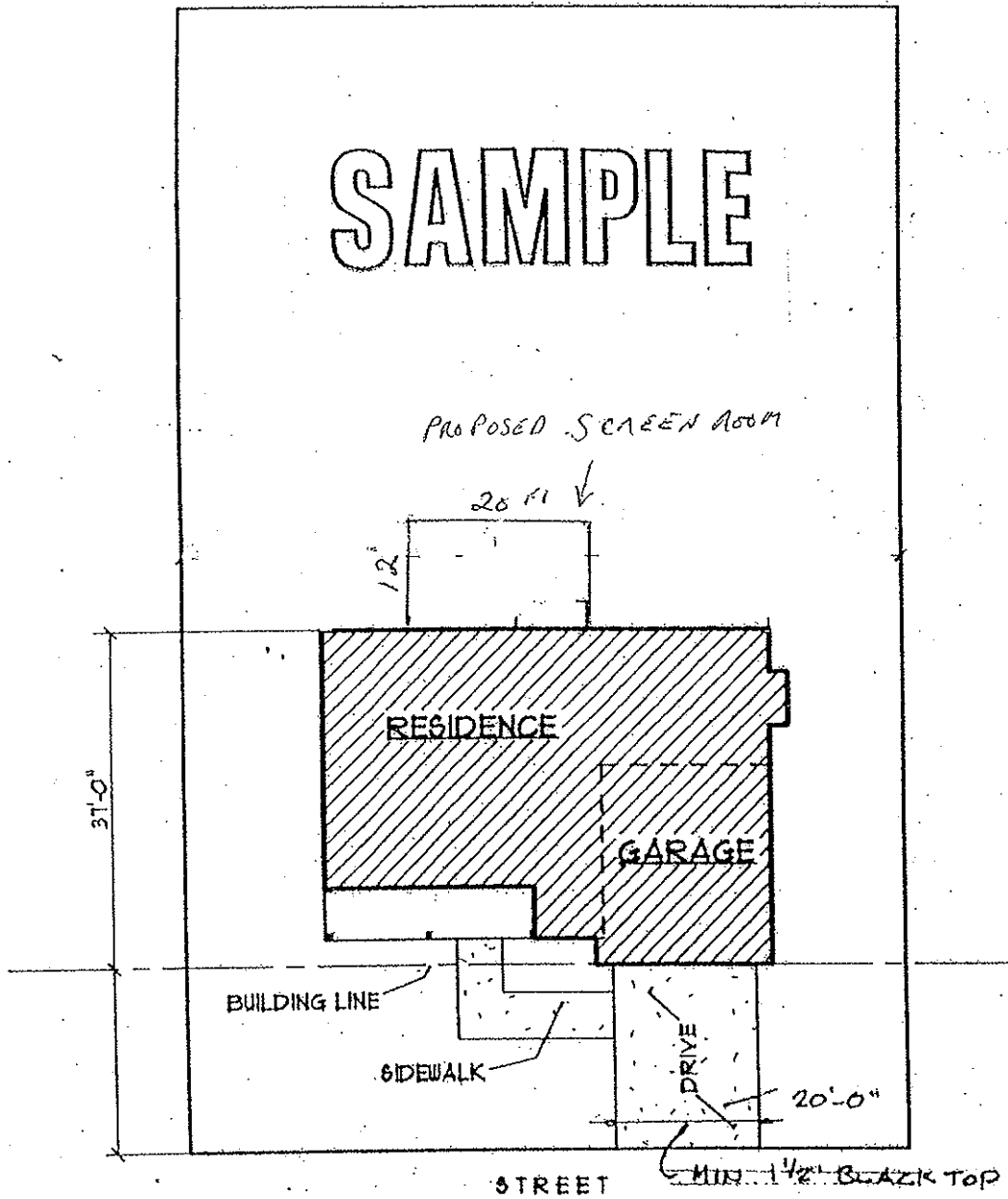


SIDE ELEVATION



SAMPLE

SAMPLE



PLOT PLAN

SCALE - 1" = 20'-0"

ORDINANCE NO. 1739

AN ORDINANCE AMENDING ORDINANCE #1183
IN THE VILLAGE OF NEW LENOX, WILL COUNTY, ILLINOIS
(Cold Weather Concrete)

WHEREAS, the Village Board of Trustees of the Village of New Lenox did adopt Ordinance #1128 on February 11, 1997, which ordinance did adopt the BOCA Building Code for all construction in the Village of New Lenox; and,

WHEREAS, it has been deemed to be in the best interest of the citizens of the Village of New Lenox that a portion of Ordinance #1128 be amended to provide for better control of the placement of concrete during cold weather conditions.

NOW, THEREFORE, be it ordained by the President and Board of Trustees of the Village of New Lenox, Will County, Illinois, as follows:

SECTION 1: That Section 9-1-3 of Ordinance #1128, Subsection 1908.9 be amended to read as follows:

227

1908.9

Replace the entire section as follows:

Definitions and Requirements

Cold Weather is defined as a period when one of the following conditions exist for more than three consecutive days:

- a. Average air temperature is less than forty (40) degrees Fahrenheit;
- b. Air temperature is less than forty (40) degrees Fahrenheit for more than one half of any 24 hour period.

Average air temperature is the average of the highest and lowest temperature occurring during the period from midnight to midnight. After the first cold weather condition or after December 1st, whichever comes first, all concrete will be subject to the cold weather requirements until April 1st.

Footings shall be poured only on frost free soil when the temperature is not less than twenty five (25) degrees Fahrenheit and rising. Concrete must be protected in forms for not less than two (2) days, with insulation blankets only.

Foundations shall be poured when the temperature is not less than twenty five (25) degrees Fahrenheit and rising. Forms shall be kept in place for not less than three (3) days and completely covered by insulation blankets from the top of the wall to the base of the footings. Slab on grade foundations may be stripped after

forty eight (48) hours, provided that the foundation will be completely backfilled within six (6) hours of stripping forms.

Flatwork: After the first frost, the Building and Zoning Administrator shall determine whether flatwork can continue. No flatwork is allowed on the outside of buildings or garages from December 1st to April 1st without the approval of the Building and Zoning Administrator. Flatwork is allowed in the basement of a structure and in attached garage if the temperature is maintained at fifty (50) degrees Fahrenheit. U.L. listed, vented type heaters are permitted for supplemental heat provided the unit is adequately vented to the exterior of the building.

The use of salamanders (torpedo heaters) or other equipment that expel flue gases into the area above concrete floors are prohibited because of the carbonation to fresh concrete.

Masonry: All masonry construction laid in temperatures of the outside air below forty (40) degrees Fahrenheit shall be enclosed and heated for not less than forty-eight (48) hours. Frozen materials shall not be use nor shall frozen masonry be built upon.

SECTION 2: Severability: That each section and part hereof of this ordinance is deemed to be severable and should any section or part hereof be held invalid or unconstitutional by any court of competent jurisdiction, such ruling shall not affect the validity of constitutionality of the remaining portion(s) of this ordinance.

SECTION 3: Repeal of Inconsistent Ordinances: That all ordinances or parts thereof in conflict with the terms of this ordinance are hereby repealed and of no further force and effect to the extent of any such conflict.

SECTION 4: Publication: That the Village Clerk is hereby directed to publish this ordinance in pamphlet form.

SECTION 5: Effective Date: That this ordinance shall be in full force and effect after its passage, approval and publication in pamphlet form as provided by law.

PASSED THIS 28th day of March, 2006
with seven members voting AYE, with -0- members voting NAY, and with
-0- members ABSENT, the Mayor voting aye; and said vote being WALTER aye,
TUMINELLO aye, BOWDEN aye, SMITH aye, DYE aye, and MADSEN
aye.

Ordinance No. 1739

Marcia Congert
VILLAGE CLERK

APPROVED this 29th day of March, 2006.

Don Fried
MAYOR

ATTEST:

Marcia Congert
VILLAGE CLERK

